

FIRST AMENDMENT
to the
PRAIRIE RIDGE DESIGN GUIDELINES

THE STATE OF TEXAS §
 § KNOW ALL PERSONS BY THESE PRESENTS:
COUNTY OF ELLIS §

WHEREAS, Prairie Ridge Partners LP, a Texas limited partnership, as Declarant, caused the instrument entitled Declaration of Covenants, Conditions and Restrictions for Prairie Ridge, to be recorded at Clerk’s File Volume No. 20111682 of the Official Public Records of Ellis County, Texas (the “**Declaration**”), as supplemented, which instrument imposes various covenants, conditions, restrictions and easements on the Prairie Ridge Community (as defined in the Declaration).

WHEREAS, the Declaration was previously amended by instruments entitled First Amendment to the Declaration of Covenants, Conditions and Restrictions for Prairie Ridge, recorded in the Official Public Records of Ellis County, Texas at Clerk’s File No. 2037083 and the Second Amendment to the Declaration of Covenants, Conditions and Restrictions for Prairie Ridge, recorded in the Official Public Records of Ellis County, Texas at Clerk’s File No. 2240014.

WHEREAS, pursuant to Article I, Section K of the Declaration, the Declarant has the authority, during the Development Period, or as long as the Declarant has architectural control authority over new Residential Dwelling construction, whichever is longer, to revise the Design Guidelines from time to time as deems appropriate.

WHEREAS, the Development Period has not expired or been terminated, and the Declarant maintains authority over architectural control over new Residential Dwelling construction.

WHEREAS, Declarant desires to amend certain provisions of the Design Guidelines in a manner that it deems appropriate.

NOW, THEREFORE, the following provisions of the Design Guidelines are amended as set forth below:

1. The title of the Design Guidelines is henceforth changed to “Goodland Design Guidelines.”
2. Article II, Section 2.1 of the Design Guidelines entitled “Lot Types” is hereby amended through the addition of the following language:

2.1 Lot Types

For Lots in Phases 6, 8, 9 and future phases, the following Residential Dwelling size requirements apply depending on the size of the Lot where the Residential

Dwelling is intended to be built. These Lot Type restrictions do not apply to Dwellings already constructed or that are under construction in Phases 5 and 7. Builders and Owners may not deviate from the following requirements when constructing Residential Dwellings on the following sizes of Lots:

- a. **Forty-foot (40') Lots:** The Residential Dwelling must be thirty feet (30') wide.
- b. **Fifty-foot (50') Lots:** The Residential Dwelling must be forty feet (40') wide.
- c. **Sixty-foot (60') Lots:** The Residential Dwelling must be fifty feet (50') wide.
- d. **Seventy-foot (70') Lots:** The Residential Dwelling must be sixty feet (60') wide.
- e. **Eighty-foot (80') Lots:** The Residential Dwelling must be seventy feet (70') wide.

3. Article II, Section 2.3.3 of the Design Guidelines entitled "Street Sidewalks" is hereby amended as follows:

2.3 Lot Improvements

2.3.3 Street Sidewalks

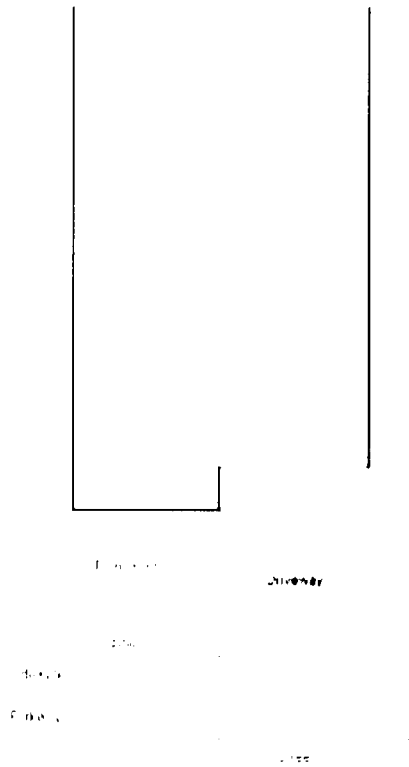
Concrete sidewalks are to be constructed by the Owner or Builder within all public street right-of-way frontages according to City and County standards. All street sidewalks are to be constructed in a consistent manner producing a uniform appearance.

The sidewalk along the street in front of each Lot must be five feet (5') in width and at least six inches (6") inside the parkway unless a greater distance is required in order to maintain consistent parkway and accommodate the street trees required by Section 5.6. On a corner Lot, a sidewalk (having the same width and location) is required not only along the street in front of the Lot, but also along the street adjacent to the side Lot line. The area between the curb and the street sidewalk must be sodded with grass.

Expansion joints must occur every twenty feet (20'). Complete pours between expansion joints are required. No cold joints are permitted.

Where sidewalks cross driveways with decorative paving, the standard sidewalk design does not have to be carried through the driveway, but any decorative paving must be located behind the sidewalk. The intention of the Declarant is to allow decorative paving from the garage door to the point where the sidewalk intersects the driveway such that a clear demarcation exists between the Owner's Lot and the Common Area

sidewalk and street. Illustration below:



4. Article II, Section 2.3.8 of the Design Guidelines entitled "Front Porches" is hereby amended as follows:

2.3 Lot Improvements

2.3.8 Front Porches

Front porches must have a minimum depth of seven feet (7') and a minimum width of ten feet (10').

5. Article II, Section 2.3 of the Design Guidelines is hereby amended through the addition of the following Section 2.3.9 entitled "Parkways":

2.3 Lot Improvements

2.3.9 Parkways

For all future phases, a six-foot (6') parkway must be installed along the street in front of each Lot in order to accommodate installation of the street trees required pursuant to Section 5.6 and the attached Exhibit "E" to the Design Guidelines.

6. Article III, Section 3.14 of the Design Guidelines entitled "Mechanical Screening" is hereby amended as follows:

3.14 Mechanical Screening

Landscaping approved by the ARC is required around the power/phone transformers and pedestals in the front yards of Lots and in the side yard of a corner Lot adjacent to the side street and the Oncor Electric Delivery Company ("Oncor") transformers. Transformers and pedestals must be screened on three (3) sides - in front to screen each transformer or pedestal from view from a street adjacent to the Lot and on both sides. Oncor transformers must have a five-foot (5') buffer on all screening sides.

All mechanical, meters, air conditioning units, pool equipment, and other similar devices are required to be placed away from view of streets, Common Areas and adjacent Lots. The equipment must be placed behind the fence or wall of rear and side yards. If the fence is an ornamental fence, landscaping must also be used to screen the equipment from view. Owners are at all times responsible for maintenance, repair and replacement of the landscape screen. In the event the landscape screen requires replacement due to damage or death, the landscape material must be replaced with an equal or approved species.

On corner Lots, HVAC/air conditioners, pool pumps, etc. must be placed in the rear yard or the interior side of the Lot.

All HVAC/air conditioning units installed on Lots are required to be screened as provided herein.

Screening with plants is to be accomplished with initial installation, not assumed growth at maturity. Shrubs or vines must be placed in front of screens. Hedges may be used for screens if plants are mature enough and spaced close enough to provide adequate screening at the time of planting.

7. Article III, Section 3.16(b)(2) of the Design Guidelines entitled "Flag Poles" is hereby amended as follows:

3.16 Flag Poles

(b) Flagpoles.

(2) A freestanding flagpole may not exceed three inches (3") in diameter and twenty feet (20') in height, measured from the ground to the highest point of the flagpole.

8. Article III, Section 3.22 of the Design Guidelines entitled "Accessory Buildings" is amended as follows:

3.22 Accessory Buildings

No accessory building may be constructed or placed on a Lot without the prior written approval of the ARC. As provided in the Declaration, an accessory building may not exceed the height of the fencing on the Lot or have a floor area greater than one hundred (100) square feet. The exterior building and roof materials used in the construction of an accessory building must be the same or substantially similar to the materials used on the Residential Dwelling. The use of metal or plastic building or roof materials is prohibited. An accessory building must be located in the rear yard of a Lot and in compliance with all building setbacks.

9. Article III of the Design Guidelines entitled "Architectural Guidelines" is amended via the addition of the following Section 3.23 entitled "Play Structures":

3.23 Play Structures

Play Structures may not be installed within five feet (5') of any fence on the Lot.

10. Article IV, Section 4.1 of the Design Guidelines entitled "General" is amended through the addition of the following sentence:

4.1 General

Phases 5 and 7: Fences must be constructed of cedar wood, decorative iron, steel or masonry as provided in Exhibit "D" to the Design Guidelines.

11. Article IV, Section 4.2 of the Design Guidelines entitled "Fence Setbacks" is amended as follows:

4.2 Fence Setbacks

For both front entry and rear entry Residential Dwellings, front-facing fences parallel to the street shall start at the front one-third (1/3) of the house façade. Corner Lots must provide a minimum of a five-foot (5') shrub landscape strip between the sidewalk and the board-on-board fencing.

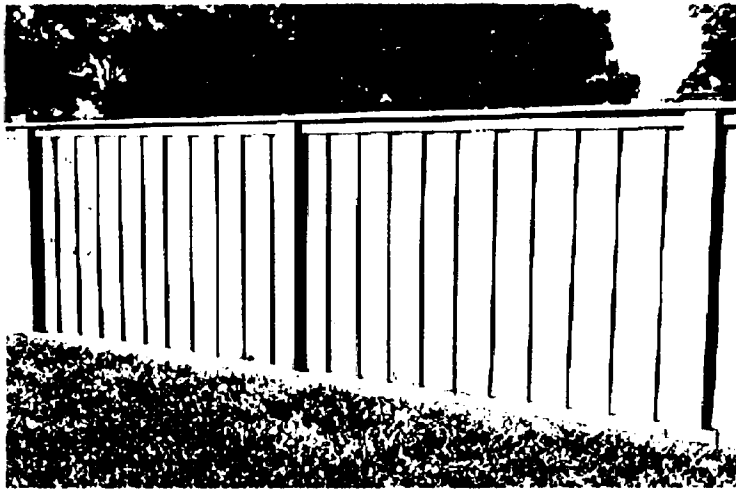
12. Article IV, Section 4.3 of the Design Guidelines entitled "Wood Fences" is amended as follows:

4.3 Wood Fences

Wood fences that are visible from any public right-of-way must be constructed of stained board-on-board cedar panels. Except as provided below, all wood fences

must be constructed with: One inch (1") by six inch (6") by six feet (6') treated cedar panels;

- a. Two inch (2") by four inch (4") by seven feet (7') treated cedar rails;
- b. Three inch (3") diameter galvanized steel posts which are eight feet (8') on center;
- c. A two inch (2") by six inch (6") cap with a one inch (1") by six inch (6") trim; and
- d. Stained with Behr Pewter Solid Stain SC-131, as illustrated below:



**Board on Board Fence (by Builder)
Behr Pewter Solid Stain SC-131**

The provisions regarding wood fences that are not visible from a public right-of-way remain unchanged.

13. Article IV, Section 4.5 of the Design Guidelines entitled "Common Area Fences" is amended through the addition of the following sentence:

4.5 Common Area Fences

In certain instances, a Lot's location may justify a deviation from the fencing requirements as set forth herein. Such determinations will be made by the ARC on a case-by-case basis.

14. Article IV entitled "Fencing" is amended through the addition of the following Section 4.6:

4.6 Iron Fences - Phase 5 and All Future Phases

- 4.6.1 A height of six feet (6') of ornamental iron fencing is required in the following conditions:

4.6.1.1. On all internal Lots with front-facing fencing visible and generally parallel to the front street, fence shall start at the front one-third of the Residential Dwelling façade and be straight across from the adjacent Residential Dwelling fencing and shall not stagger with the adjacent property. Material and style should match for the two adjacent properties.

4.6.1.2 On all corner Lots with front-facing fencing visible and generally parallel to the front street or siding to open space, fence shall start at the back two-thirds (2/3) of the Residential Dwelling façade.

15. Article V, Section 5.1 of the Design Guidelines entitled "Landscaping" is amended through the addition of the following language:

Borders of planting beds or extension of flower beds or tree wells and other landscaped areas in front yards shall consist of metal, masonry or cut rock stone edging material that matches the home designed for such purpose. Edging should have a relatively uniform top edge and compliment the Residential Dwelling.

The use of sharp or exposed edges such as brick or rock sunk at angles is not permitted. Any brick or stone/masonry shall be mortared. Plastic edging, loose rock, gravel, or stone under twelve inches (12") is not permitted in front yard areas.

A copy of the plat indicating the proposed retaining wall or border location as it relates to the Residential Dwelling and a drawing, brochure or picture of the proposed stone color and pattern/formation and height must be submitted to the ARC for approval. No border is permitted around the street tree located between the curb and the sidewalk. The Association is not responsible for damage to exterior modifications to a Lot.

16. The last sentence of Article V, Section 5.1 of the Design Guidelines entitled "Landscaping" is amended and restated as follows:

"St. Augustine Bermuda, Hybrid Bermuda and Zoysia grass are permitted."

17. Article V, Section 5.2 of the Design Guidelines entitled "Front Yard Trees" is amended and restated as follows:

5.2 Front Yard - Ornamental Trees

At least one (1) ornamental tree with a caliper of not less than two inches (2") and not more than three inches (3") measured six inches (6") above grade is required to be planted in the front yard of a Lot at the time of initial landscaping. A second and third ornamental tree may be located in the front yard of the Lot or at another location preferred by the Owner or Builder, subject to the written approval of the ARC. No more than three (3) ornamental trees may be planted in the front yard of

a lot. Front yard ornamental trees must be planted a minimum of ten feet (10') from the parkway area in order to accommodate trees installed near/on Common Area streets, and at least thirty (30) feet from the neighboring Lot's foundation.

18. Article V of the Design Guidelines entitled "Fencing" is amended through the addition of the following Section 5.6:

5.6 Street Trees

Street trees with a caliper of not less than four inches (4") measured twelve inches (12") above grade are required to be planted in the parkway within the right-of-way, centered between the curb and the sidewalk, at the time of initial landscaping. Street trees must be provided at a ratio of at least one (1) tree per 30 linear feet of lot frontage. Please refer to the attached "Phase 5 - Tree Exhibit and Phase 7 - Tree Exhibit," which shall now constitute Exhibit "E" to the Design Guidelines and shall be fully incorporated into the Design Guidelines.

19. The attached "Prairie Ridge Single-Family Rear Entry Design Guidelines for Prairie Ridge Phases 5 & 7" shall now constitute Exhibit "C" to the Design Guidelines and shall be fully incorporated into the Design Guidelines.

20. The attached "Phase 5 - Fence Exhibit and Phase 7 - Fence Exhibit" shall now constitute Exhibit "D" to the Design Guidelines and shall be fully incorporated into the Design Guidelines.

21. The "Preferred Plant List" identified as Exhibit "B" to the Design Guidelines is deleted in its entirety and replaced with the attached amended "Preferred Plant List," which shall now constitute Exhibit "F" to the Design Guidelines and shall be fully incorporated into the Design Guidelines.

Except as amended herein, all provisions in the Design Guidelines, as previously amended or supplemented, remain in full force and effect.

Capitalized terms used herein have the same meanings as those ascribed to them in the Declaration, unless otherwise indicated.

[Certification Page Follows]

CERTIFICATION

IN WITNESS WHEREOF, I have hereunto subscribed my name on the date shown below.

PRAIRIE RIDGE PARTNERS LP, a Texas limited partnership

By: Prairie Ridge Partners GP LLC,
a Texas limited liability company
its General Partner

By: PRA GP No. 2, Inc.
a Texas corporation
its Manager

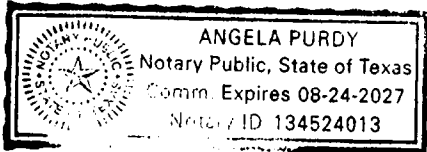
By: [Signature]
Name: Julian Hawes Jr.
Title: Vice President

THE STATE OF TEXAS §
 §
COUNTY OF DALLAS §

Before me, the undersigned authority, on this day personally appeared Julian Hawes Jr, Vice President an authorized representative of Prairie Ridge Partners LP, a Texas limited partnership, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in capacity therein and herein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 20th day of December, 2023.

[Signature]
Notary Public in and for the State of Texas



Prairie Ridge Single-Family Rear Entry Design Guidelines

For Prairie Ridge Phases 5 & 7

1. Purpose / Objectives

The objectives of these design guidelines are to:

- Ensure that high-quality design outcomes are considered and implemented within the residential subdivision.
- Ensure consistency and aesthetically pleasing treatments are provided along roadways, alleys, and the public realm.
- Provide for the treatment of dwellings to have regard to safety, accessibility, and the interface with the public realm. These standards seek to provide a set of design requirements that strive for design excellence.

2. Prairie Ridge Design Guidelines Supplement

These single-family rear entry design guidelines do not replace the provisions of the Prairie Ridge Design Guidelines (filed of record). These single-family rear entry design guidelines are intended to supplement those recorded design guidelines.

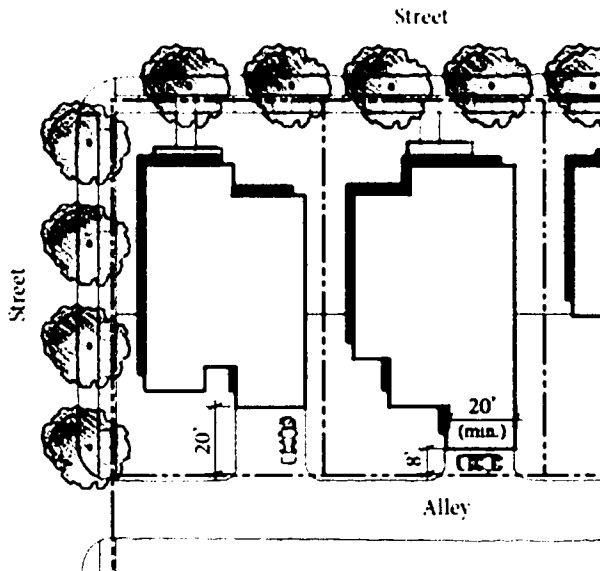
3. Lot Access

- 3.1. Corner lots shall place head-in driveways/ garage door(s) on the opposite side of the lot from the street side in order to locate yards adjacent to the street side. In the instance of an alley J-swing driveway, garage door(s) must face away from the street side of the lot.
- 3.2. Corner lots with alley frontage must access the lot from the alley and not from the side street to minimize garage doors facing roadways.

4. Driveways & Garage Setbacks

4.1. Garage setbacks shall meet one of the following conditions:

- 4.1.1. Garage shall be set back twenty feet (20'); or
- 4.1.2. Garage shall be set back eight feet (8') and must be a minimum of twenty feet (20') wide to provide a parallel parking space across the face of the garage door.

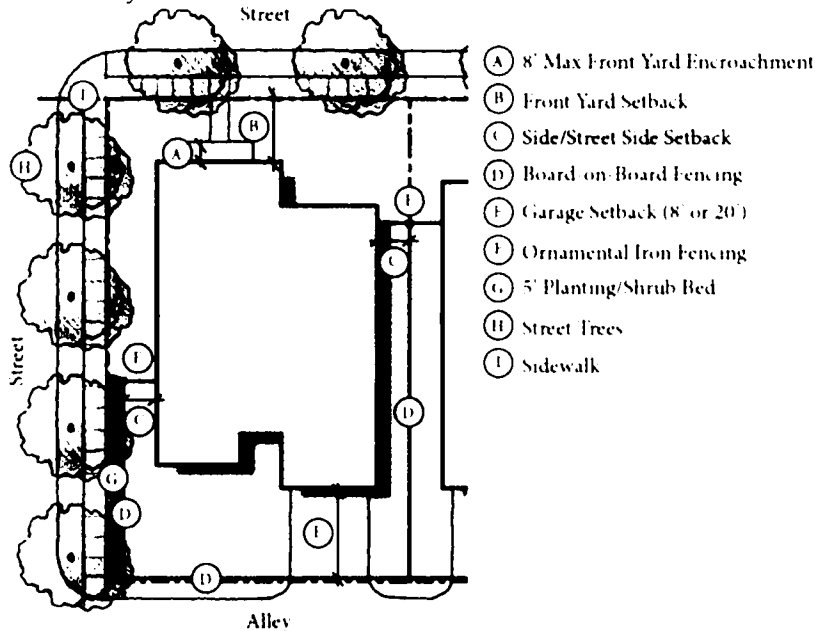


[Exhibit A - Garage setback conditions - Twenty-foot (20') and eight-foot (8').]

5. Fencing and Landscape

5.1. Fencing Materials and Location

- 5.1.1. When a fence is desired, board-on-board fencing shall be the primary fencing material except where ornamental iron is required. (See Prairie Ridge Design Guidelines – Section IV. and V. Fencing and Landscape Guidelines).
- 5.1.2. In situations where the garage is set back twenty feet (20') or greater, fencing may extend across the driveway with a retractable gate or return up along and parallel to the driveway.



[Exhibit B – Residential lot standards for a rear-loaded lot.]

- 5.1.3. A maximum height of six feet (6') of ornamental iron fencing is required in the following conditions:
- 5.1.3.1. On all internal lots with front-facing fencing visible and generally parallel to the front street; Fence shall start at the front one-third of the house façade and be straight across from the adjacent house fencing and shall not stagger with the adjacent property. Material and style should match for the two adjacent properties.



[Exhibit C – Front-facing fencing must be ornamental iron fencing set back within one-third of the distance from the front façade of the house unless on a corner lot which then should be set back in the back two-thirds of the distance from the front façade of the house. The fence must be straight across and not stagger with the adjacent property.]

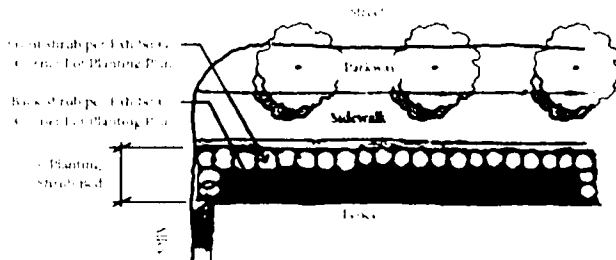
- 5.1.3.2. On all corner lots with front-facing fencing visible and generally parallel to the front street or siding to open space; Fence shall start at the back two-thirds of the house façade.
- 5.1.3.3. When adjacent to open space.
- 5.1.4. In driveway conditions where there is an eight-foot (8') garage setback, the fence must not protrude beyond the face of the garage to provide safe view triangles for vehicles.
- 5.1.5. On corner lot conditions, the alley-facing board-on-board fencing must face the front side of the fence toward the alley with the support poles interior to the property.

5.1.6. Any circumstance not contemplated herein, at no time shall the rear side of a fence with the support poles be oriented toward a publicly viewable area.

5.2. Landscape

5.2.1. Builders must provide either a tree within the landscape area of the alley or tree(s) in the backyard.

5.2.2. In addition to any city code or the Prairie Ridge Design Guidelines, corner lots must provide a minimum of five-foot (5') shrub landscape strip between the sidewalk and the board-on-board fencing. See exhibit B above. Landscaping within the landscape strip shall consist of a variety of plantings, as illustrated below in exhibit D. See exhibit G for specific shrub planting type locations.



[Exhibit D – Landscape planting standard alongside of corner lots.]

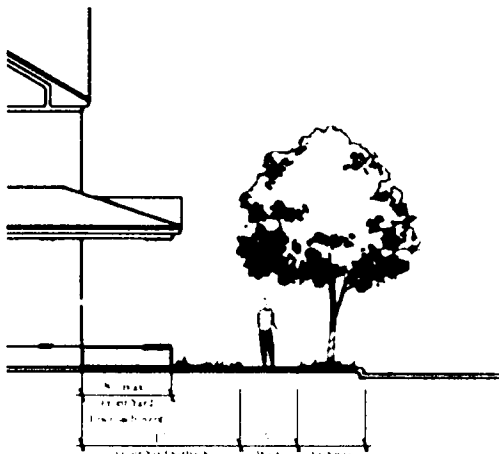
6. Front Porches

6.1. Front porches are recommended, especially on those lots having a porch that orients toward the intersection.

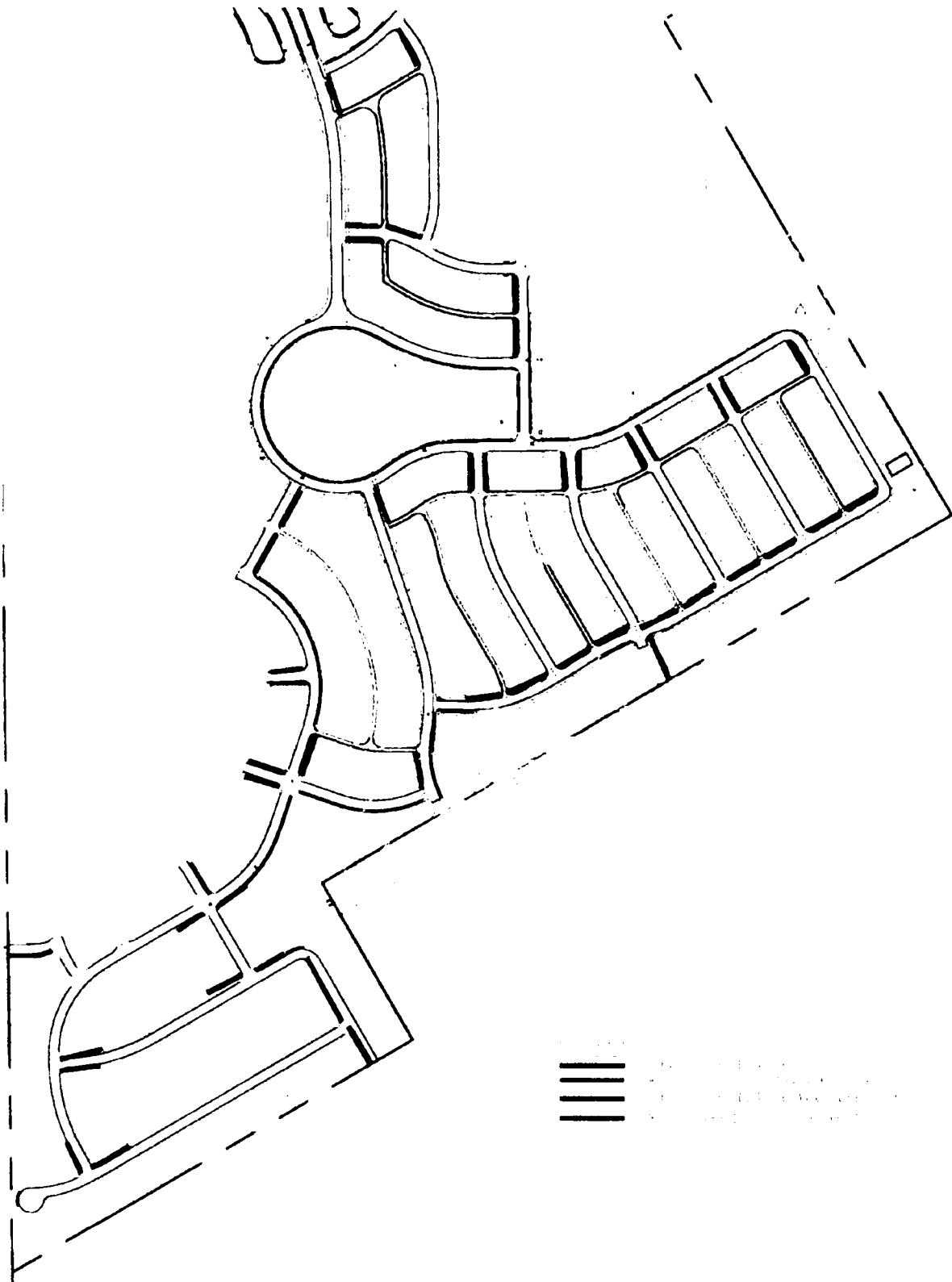


[Exhibit E – Front porch orienting toward the intersection on a corner lot.]

6.2. Front porches are encouraged to create a sense of community, provide “eyes-on-the-street”, give scale, and provide character to neighborhoods. With the approval of the city, front yard encroachment is allowed for any front porch (8' max. encroachment, with a primary building setback of seventeen feet (17'). In no case shall a front porch be less than seven feet (7') in depth, with eight feet (8') in depth highly encouraged.

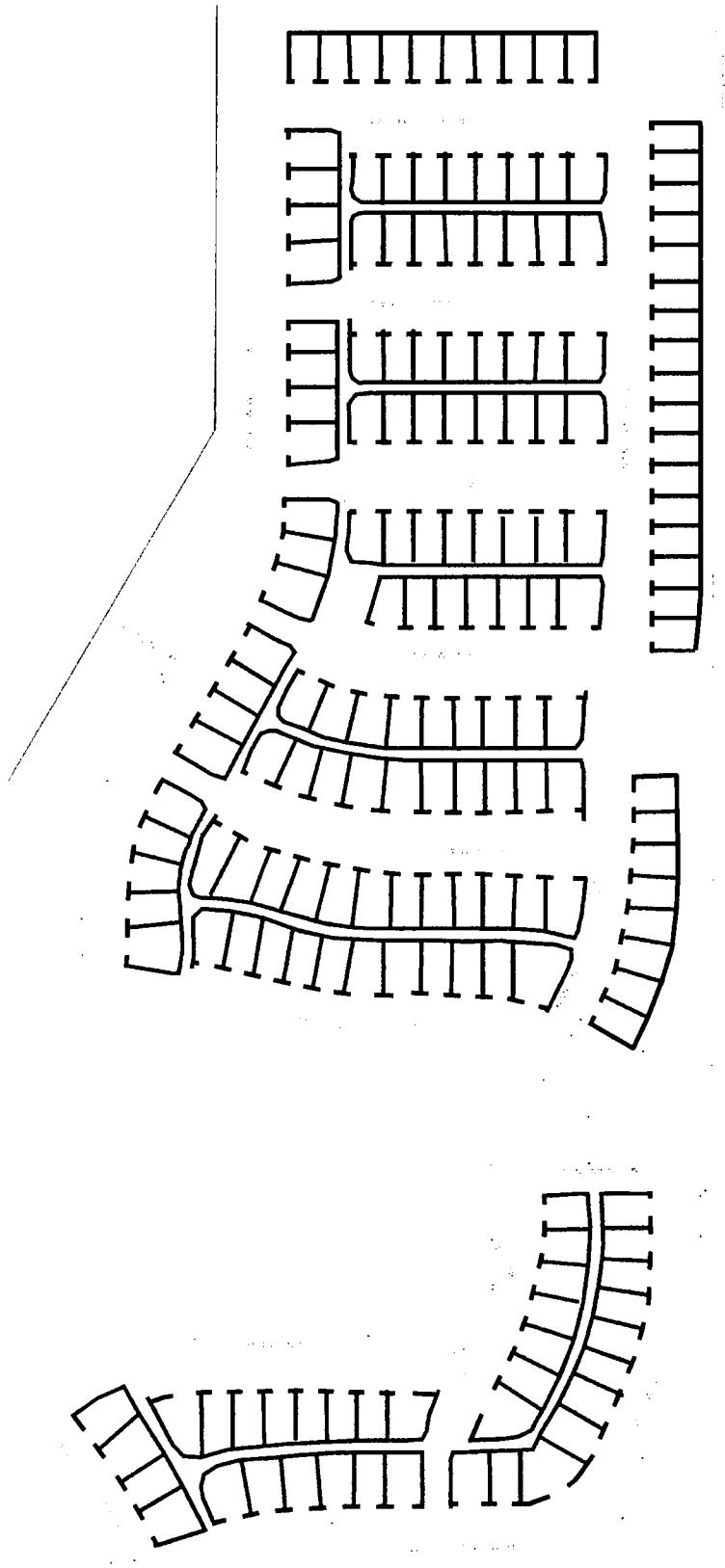


[Exhibit F – Front porch encroachment and front setbacks.]



[Exhibit G - Corner lot planting plan.]

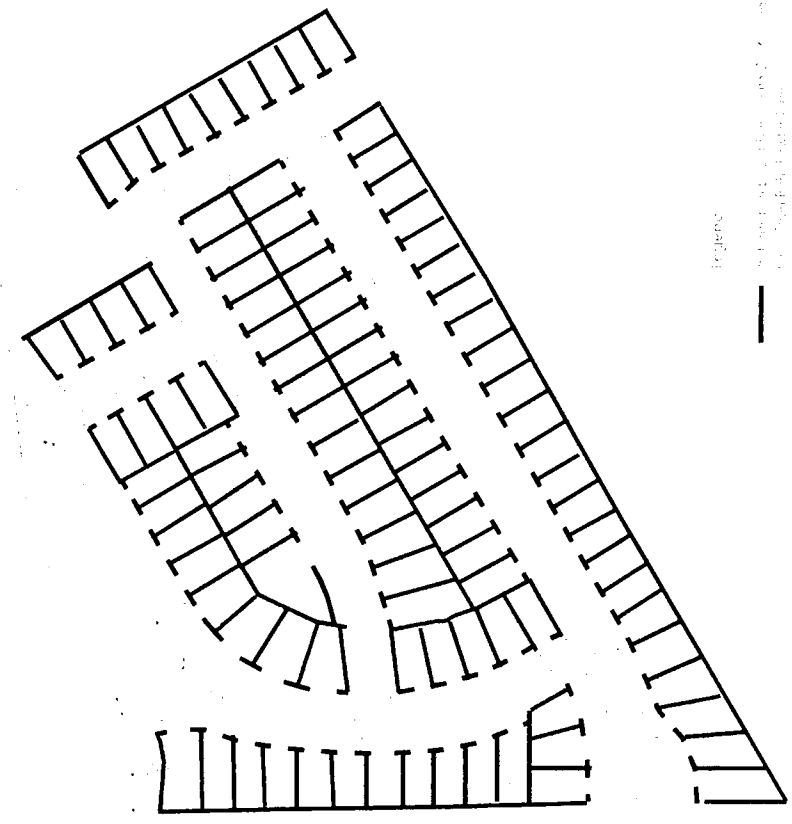
EXHIBIT "D"
 PHASE 5 - FENCE EXHIBIT



- Legend
- Existing fence
 - Proposed fence
 - Proposed fence to be removed
 - Proposed fence to be removed and replaced with a different type of fence
 - Proposed fence to be removed and replaced with a different type of fence and a different height
 - Proposed fence to be removed and replaced with a different type of fence and a different height and a different material

City of Portland
 Planning Department
 12/10/2023

EXHIBIT "D"
 PHASE 7 - FENCE EXHIBIT

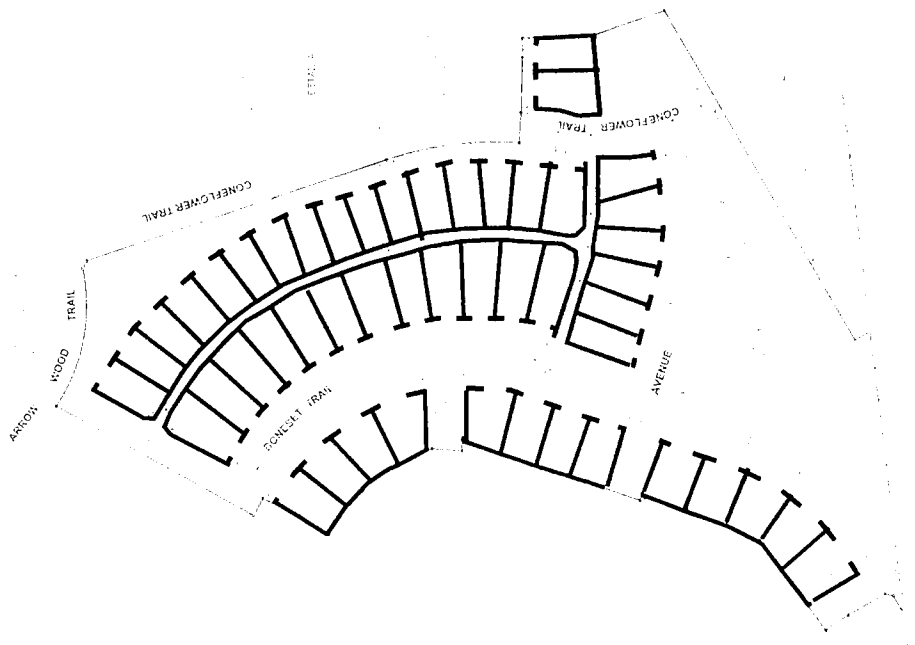


Legend



Legend
 Solid line: Proposed fence line
 Dashed line: Existing fence line
 Arrow Road
 Coneflower Trail
 Avenue

Scale: 1" = 40' (not to scale)
 Date: 11/10/21



Prepared by: [Name]
 Date: 11/10/21



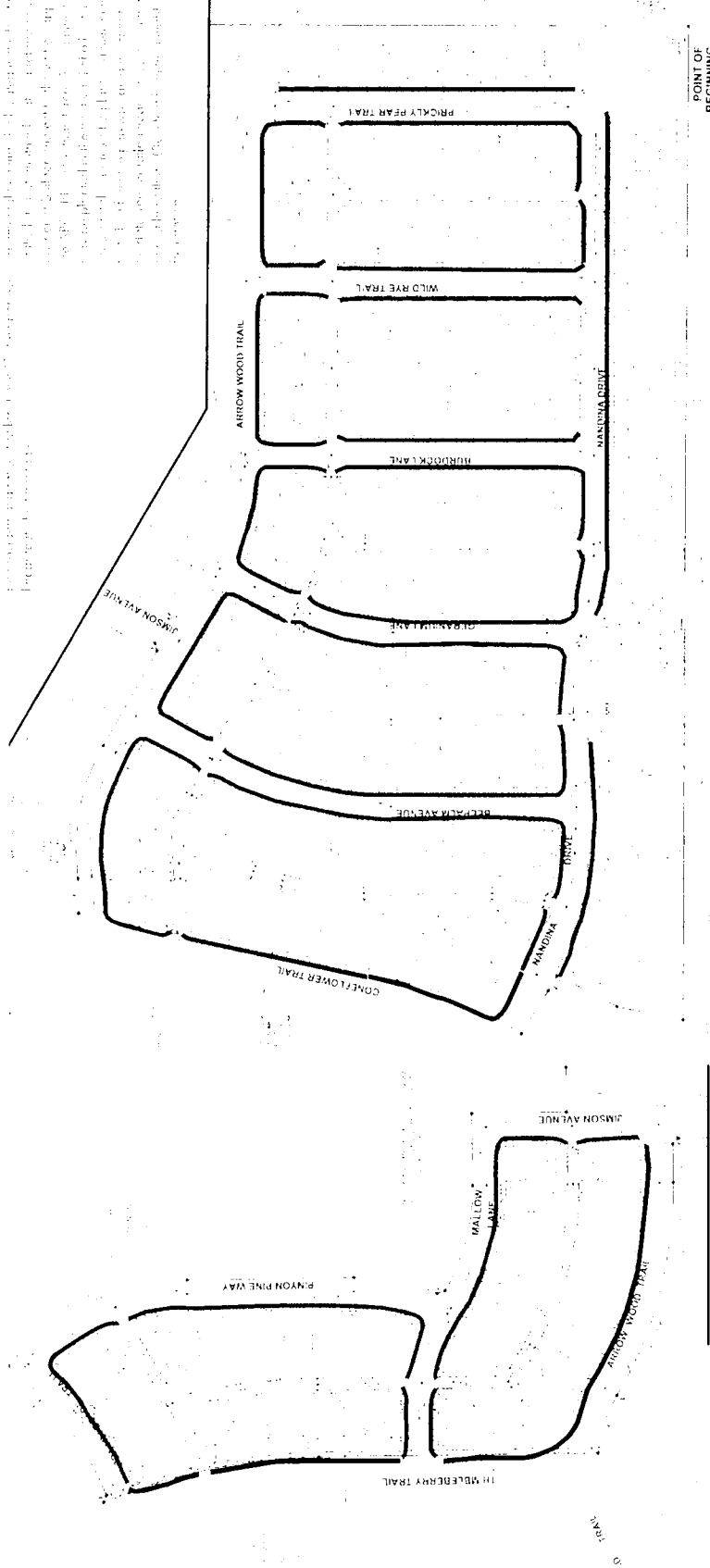
EXHIBIT 'E'
PHASE 5 - TREE EXHIBIT

Plant Tree Notes:

Plant trees in the following locations:
 - Along the exterior edges of the site
 - Along the exterior edges of the driveway
 - Along the exterior edges of the parking areas
 - In the interior of the site in a grid pattern
 - In the interior of the site in a grid pattern
 - In the interior of the site in a grid pattern

Plant Tree Notes:

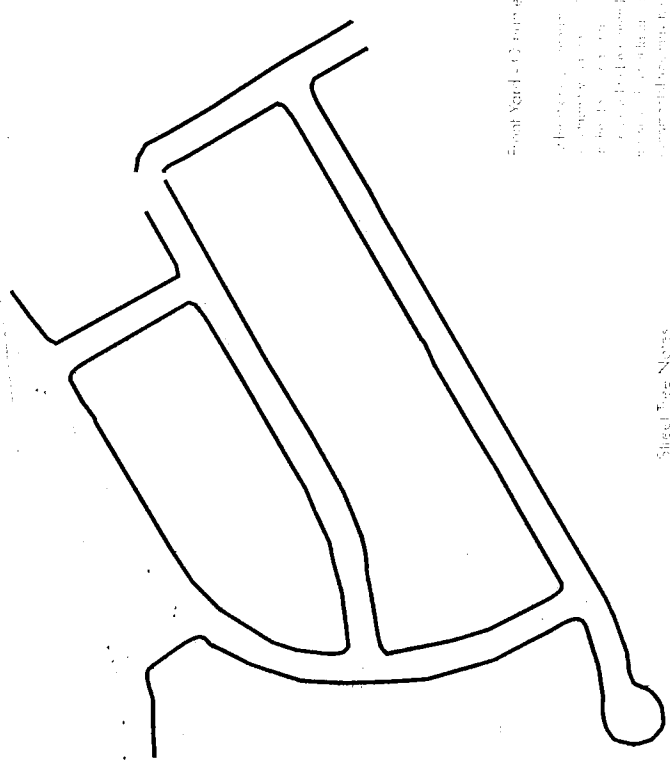
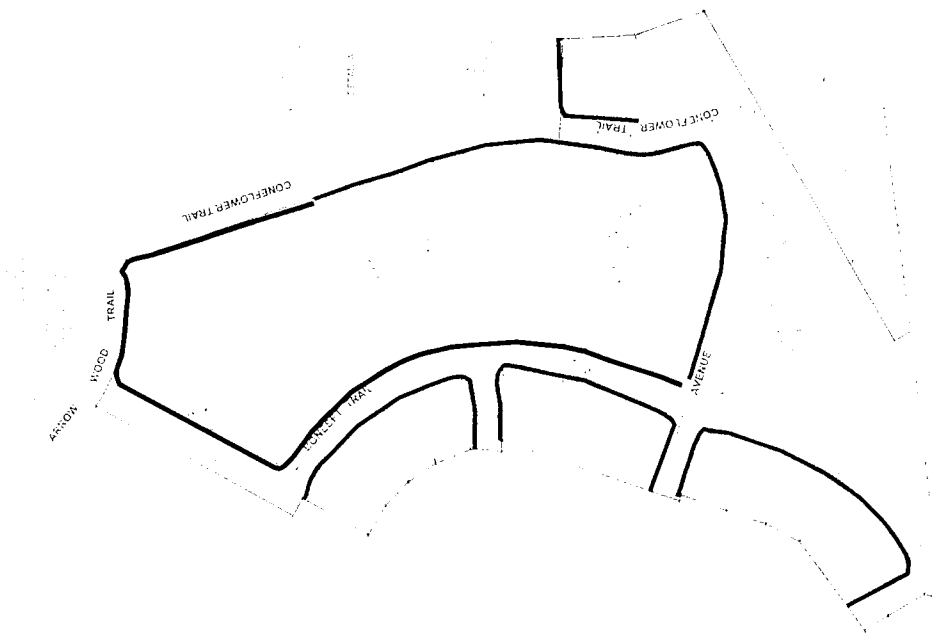
Plant trees in the following locations:
 - Along the exterior edges of the site
 - Along the exterior edges of the driveway
 - Along the exterior edges of the parking areas
 - In the interior of the site in a grid pattern
 - In the interior of the site in a grid pattern
 - In the interior of the site in a grid pattern



Legend

- Street
- Lot Boundary
- Easement

EXHIBIT "E"
PHASE 7 - TREE EXHIBIT



Sheet Type Names

The names of the sheets are listed in the table below. The names are listed in the order in which they are created in the project. The names are listed in the order in which they are created in the project. The names are listed in the order in which they are created in the project.

Front Yard - CD Remaining Tree Lines

The remaining tree lines in the front yard are shown in the diagram. The remaining tree lines are shown in the diagram. The remaining tree lines are shown in the diagram.



Exhibit "F" - Preferred Plant List

Street Trees:

Fraxinus texensis	Texas Ash
Gleditsia tricanthos inermis 'Shademaster'	Honeylocust
Koelreuteria paniculata	Goldenrain Tree
Pistacio chinensis	Chinese Pistache
Quercus buckleyi	Texas Red Oak
Quercus laceyii	Lacey Oak
Quercus lyrata	Overcup Oak
Quercus macrocarpa	Bur Oak
Quercus virginiana	Live Oak
Select from the following varieties: Native Live Oak. Highrise, Cathedral, Millennium	
Quercus shumardii	Shumard Red Oak
(make certain to not plant a Nutall Oak Quercus nuttallii which is very similar to Shumard but cannot tolerate alkaline soils)	
Tillia americana	American Linden
Ulmus alata	Winged Elm
Ulmus Americana	American Elm
Select from the following varieties: Jefferson, New Harmony, Prairie Expedition, Princeton, Valley Forge	
Ulmus crassifolia	Cedar Elm
Ulmus parvifolia	Lacebark Elm
Select from the following varieties: Allee (tall upright arching) Athena (full canopy tightly formed) Bosque (upright growth habit narrow crown) Dynasty (vase shape rounded crown) Emerald Prairie (vase shaped crown) Everclear (narrow shaped upright canopy) Emerald Flair (broadly vase shaped arching branches)	

Canopy Trees:

Carya illinoensis	Pecan
Select Pawnee or Choctaw variety	
Juglans microcarpa	Texas Black Walnut
Koelreuteria paniculata	Goldenrain Tree
Pistacio chinensis	Chinese Pistache
Platanus mexicana	Mexican Sycamore
Quercus buckleyi	Texas Red Oak
Quercus laceyii	Lacey Oak
Quercus lyrata	Overcup Oak
Quercus macrocarpa	Bur Oak
Quercus muhlenbergii	Chinquapin Oak
Quercus shumardii	Shumard Red Oak
(make certain to not plant a Nutall Oak Quercus nuttallii which is very similar to Shumard but cannot tolerate alkaline soils)	

Quercus virginiana	Live Oak
Select from the following varieties:	
Native Live Oak, Highrise, Cathedral, Millennium	
Taxodium ascendens	Pond Cypress
Taxodium distichum	Bald Cypress
Taxodium distichum var. Shawnee Brave	Shawnee Brave Bald Cypress
Ulmus alata	Winged Elm
Ulmus Americana	American Elm
Select from the following varieties:	
Jefferson, New Harmony, Prairie Expedition, Princeton, Valley Forge	
Ulmus crassifolia	Cedar Elm
Ulmus parvifolia	Lacebark Elm
Select from the following varieties:	
Allee (tall upright arching)	
Athena (full canopy tightly formed)	
Bosque (upright growth habit narrow crown)	
Dynasty (vase shape rounded crown)	
Emerald Prairie (vase shaped crown)	
Everclear (narrow shaped upright canopy)	
Emerald Flair (broadly vase shaped arching branches)	

Ornamental Trees:

Aesculus pavia	Red Buckeye
Aesculus parviflora	Bottlebrush Buckeye
Callicarpa americana	American Beautyberry
Callicarpa Americana var. Profusion	Profusion Beautyberry
Callicarpa dichotoma var. Early Amethyst	Early Amethyst Beautyberry
Carpinus betulus	European Hornbeam
Cephalanthus occidentalis	Button Bush
Cercis canadensis	Redbud
Select from the following varieties:	
White Redbud, Texas Redbud, Mexican Redbud, Oklahoma Redbud	
Chilopsis linearis	Desert Willow
Chionanthus virginicus	White Fringe Tree
Cornus drummondii	Roughleaf Dogwood
Cotinus obovatus	American Smoketree
Cupressus arizonica	Arizona Cypress
Diospyros texana	Texas Persimmon
Foresteria pubescens	Elbow Bush
Hamamelis vernalis	Arkansas Witch Hazel
Hamamelis virginiana	Common Witch Hazel
Ilex decidua	Possumhaw Holly
Select from the following varieties:	
Finch's Golden Possumhaw Holly, Paco Possumhaw Hollys, Warren's Red	
Possumhaw Holly	
Ilex var. Mary Nell	Mary Nell Holly
Ilex var. Nellie R. Steven's	Nellie R. Steven's Holly
Ilex vomitoria var. Pride of Houston	Pride of Houston Yaupon Holly
Ilex vomitoria var. Will Fleming	Will Fleming Yaupon Holly
Juniperus ashei	Ash Juniper or Blueberry Juniper
Juniperus chinensis var. Blue Point	Blue Point Juniper

Juniperus chinensis var. Spartan	Spartan Juniper
Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper
Juniperus virginiana 'Brodie'	Brodie Juniper
Juniperus virginiana	Eastern Red Cedar
Koelreuteria paniculata	Goldenrain Tree
Lagerstroemia indica	Crape Myrtle
Select from the following varieties:	
Acoma Crape Myrtle - white	
Basham's Party Pink Crape Myrtle - lavender pink	
Cheyenne Crape Myrtle - bright red	
Hopi Crape Myrtle - medium pink	
Muskogee Crape Myrtle - Light lavender	
Natchez Crape Myrtle - White	
Pecos Crape Myrtle - medium pink	
Sioux Crape Myrtle - vivid pink	
Tonto Crape Myrtle - deep red	
Tuscarora Crape Myrtle - coral pink	
Tuskegee Crape Myrtle - dark pink	
Zuni Crape Myrtle - lavender	
Leucana retusa	Lemonball or Goldenball Lead Tree
Lindera benzoin	Spice Bush
Magnolia grandiflora	Magnolia
Select from the following varieties:	
Alta Magnolia, Claudia Wannamaker Magnolia, 'Southern Charm' Teddy	
Bear Magnolia	
Magnolia stellata	Star Magnoliae
Magnolia soulangiana	Saucer Magnolia
Malus angustifolia species	Crabapple
Malus ioensis 'Blanco Texas'	Crabapple
Pinus edulis	Pinion Pine
Pinus eldarica	Afghan Pine
Pinus nigra	Austrian Pine
Pinus pinea	Italian Stone Pine
Pinus thunbergii	Japanese Black Pine
Prosopis glandulosa	Honey Mesquite
Prunus caroliniana	Carolina Laurelcherry
Prunus mexicana	Mexican Plum
Rhamnus caroliniana	Carolina Buckthorn
Rhus aromatic	Fragrant Sumac
Rhus lanceolata	Prairie Flameleaf Sumac
Rhus microphylla	Littleleaf Sumac
Sophora affinis	Eve's Necklace
Sophora secundiflora	Texas Mountain Laurel
Ungnadia speciosa	Mexican Buckeye
Viburnum macrocephalum	Chinese Snowball Viburnum
Viburnum rufulum	Rusty Blackhaw
Vitex agnus-castus	Vitex
Select from the following varieties:	
Blue Diddley, Delta Blue, LeCompte, Montrose Purple, Shoal's Creek,	
Cooke's White	

Shrubs:

Agave spp	Agave
Agave ovatifolia	Whale's Tongue Agave
Buxus var. Wintergreen	Wintergreen Boxwood
Buxus var Winter Gem	Winter Gem Boxwood
Ceanothus americana	New Jersey Tea Plant
Chaenomeles superba var. Texas Scarlet	Texas Scarlet Flowering Quince
Cotoneaster glaucophyllus	Gray Cotoneaster
Dalea formosa	Feather Dalea
Eupatorium greggii	Greg's Mist Flower
Hesperaloe funifera	Giant Red Yucca
Hesperaloe parviflora	False Red Yucca
Hesperaloe parviflora	False Yellow Yucca
Hibiscus coccineus	Texas Star Hibiscus
Hydrangea quercifolia	Oakleaf Hydrangea
Ilex cornuta var. Dwarf Burford Holly	Dwarf Burford Holly
Ilex vomitoria var. Nana	Dwarf Yaupon Holly
Ilex vomitoria var. Bordeaux	Bordeaux Dwarf Yaupon Holly
Lagerstroemia indica	Dwarf Crape Myrtle
Leucophyllum langmaniae var. Rio Bravo	Rio Bravo Texas Sage
Leucophyllum var. Greencloud	Greencloud Texas Sage
Leucophyllum var. Silverado Dwarf	Silverado Dwarf Texas Sage
Ligustrum sinense 'Sunshine'	Sunshine Ligustrum
Malvaviscus drummondii	Turk's Cap
Mimosa borealis	Fragrant Mimosa
Myrica pusila	Dwarf Wax Myrtle
Optunia ellisiana	Spineless Prickly Pear
Rhus michauxii	Michaux's Sumac
Rosa var.	Rose
	Select from the following varieties:
	Belinda's Dream Rose, Drift Rose (all varieties), Martha Gonzalez Rose,
	Mutabilis Rose
Rosmarinus officinalis	Rosemary
Sedum var. Autumn Joy	Autumn Joy Sedum
Spirea vanhouttei	Bridal Wreath Spirea
Spirea japonica var. Anthony Japonica	Anthony Spirea
Symphoricarpos chenaultii var. Hancock	Hancock Snowberry
Symphoricarpos orbiculatus	Coralberry
Vitex agnus-castus var. Dwarf Puffball	Dwarf Puffball Vitex
Yucca filamentosa var. Color Guard	Color Guard Yucca
Yucca gloriosa var. Variegata	Variegated Spanish Dagger
Yucca pallida	Pale Leaf Yucca
Yucca recurvifolia	Softleaf Yucca
Yucca rigida	Blue Yucca
Yucca rostrata var. Sapphire Skies	Sapphire Skies Yucca
Yucca rupicola	Twisted Leaf Yucca
Yucca treculeana	Texas Bayonet Yucca

Ornamental Grasses:

Bouteloua curtipendula	Sideoats Grama
Bouteloua gracilis var. Blonde Ambition	Blue Grama
Carex buchananii var. Red Rooster	Red Rooster Sedge
Carex cherokeensis	Cherokee Sedge
Carex divulsa	Meadow Sedge
Carex oshimensis var. Everest	Everest Weeping Sedge
Carex oshimensis var. Evergold	Evergold Sedge
Carex perdentata	Webberville Sedge
Carex phyllocephala var. Sparkler	Sparkler Sedge
Chasmanthium latifolium	Inland Sea Oats
Cortaderia selloana var. Pumila	Dwarf Pampas Grass
Corynephorus canescens var. Spiky Blue	Spiky Blue Grass
Cyperus alternifolia	Umbrella Plant
Cyperus nanas	Compact Umbrella Plant
Eragrostis curvula	Weeping Lovegrass
Eragrostis elliottii	Blue Lovegrass
Juncus inflexus var. Blue Arrows	Blue Arrows Rush
Juncus pallidus var. Javelin	Javelin Rush
Koeleria glauca var. Coolio	Coolio Blue Hair Grass
Koeleria glauca var. Blue Sprite	Blue Sprite Blue Hair
Grass	
Miscanthus sinensis var. Adagio	Adagio Miscanthus
Miscanthus sinensis var. Little Kitten	Little Kitten Grass
Miscanthus sinensis var. Gracillimus	Maiden Grass
Muhlenbergia capillaris	Gulf Coast Muhly
Muhlenbergia capillaris var. Lenca	Regal Mist Pink Muhly
Muhlenbergia duboides	Weeping Muhly
Muhlenbergia dumosa	Bamboo Muhly
Muhlenbergia lindheimeri	Lindheimer Muhly
Panicum virgatum var. Dallas Blues	Dallas Blues Switchgrass
Panicum virgatum var. Heavy Metal	Heavy Metal Switchgrass
Schizachyrium scoparium	Little Bluestem
Stipa tenuissima	Mexican Feathergrass

Perennials:

Achillea var. Moonshine	Moonshine Yarrow
Anisacanthus quadrifidus wrightii	Flame Acanthus
Aquilegia chrysantha var. hinkcleiyana	Texas Gold Columbine
Artemesia var. Powis Castle	Powis Castle Artemesia -
Aster oblongifolius	Fall Aster
Astrolepis sinuata	Wavy Scaly Cloakfern
Buddleia davidii	Butterfly Bush
Callirhoe involucrate	Winecup
Calyptocarpus vialis	Horse Herb
Chrysactinia mexicana	Damianita
Coreopsis lanceolata	Lanceleaf Coreopsis
Coreopsis Uptick	UpTick Coreopsis -
Datura wrightii	Datura Jimson Weed
Dyschoriste linearis	Snake Herb
Echinacea purpurea	Purple Coneflower

<i>Eupatorium greggii</i>	Greg's Mist Flower
<i>Gaura lindheimeri</i>	Pink Gaura
<i>Hosta</i> var.	Hosta Lily
<i>Lantana horrida</i>	Texas Lantana
<i>Lavandula intermedia</i> var. Provence	Provence Lavender
<i>Lippia graveolens</i>	Mexican Oregano
<i>Marsilia macropoda</i>	Clover Fern
<i>Melampodium leucanthum</i>	Blackfoot Daisy
<i>Nepeta faassenii</i> var. Walker's Low	Walker's Low Catmint
<i>Nierembergia gracilis</i> var. Starry Eyes	Starry Eyes Nierembergia
<i>Oenothera missouriensis</i>	Fluttermills
<i>Penstemon tenuis</i>	Brazos Penstemon
<i>Perovskia atriplicifolia</i>	Russian Sage
<i>Physostegia virginiana</i>	Fall Obedient Plant
<i>Rosmarinus officinalis</i> var. Prostratus	Prostrate Rosemary
<i>Rudbeckia fulgida</i>	Black-Eyed Susan
<i>Rudbeckia fulgida</i> var. Goldsturm	Goldsturm Rudbeckia
<i>Rudbeckia maxima</i>	Giant Coneflower
<i>Salvia chamaedryoides</i>	Gray Shrub Sage
<i>Salvia farinacea</i> var. Henry Duelberg	Henry Duelberg Sage
<i>Salvia farinacea</i> 'Victoria Blue'	Victoria Sage
<i>Salvia greggii</i> var. Autumn Sage	Autumn Sage Salvia
<i>Salvia</i> hybrid	Nuevo Leon Sage
<i>Salvia longispicata</i> var. Indigo Spires	Indigo Spires Salvia
<i>Salvia lyrata</i>	Lyre Leaf Sage
<i>Salvia roemeriana</i>	Cedar Sage
<i>Salvia</i> var. May Night	May Night Salvia
<i>Salvia</i> var. Rose Marvel	Rose Marvel Salvia
<i>Santolina chamaecyparissus</i>	Gray Santolina
<i>Santolina pinnata</i>	Green Santolina
<i>Scytellaria ovate</i>	Heartleaf Skullcap
<i>Scutellaria suffrutescens</i>	Pink Skullcap
<i>Sedum</i> var. Autumn Joy	Autumn Joy Sedum
<i>Stachys byzantine</i>	Lamb's Ear
<i>Tetrameuris scaposa</i>	Four Nerve Daisy
<i>Thelypteris kunthii</i>	Southern Wood Fern
<i>Verbena canadensis</i> var. Homestead Purple	Homestead Purple Verbena
<i>Wedelia texana</i>	Orange Zexmenia

Vines and Groundcover:

<i>Bignonia capreolata</i> var. Tangerine Beauty	Tangerine Beauty Crossvine
<i>Campsis tagliabuana</i> var. Madame Galen	Madame Galen Trumpet creeper
<i>Campsis radicans</i>	Trumpet creeper
	Select from the following varieties:
	Balboa Sunset Trumpet creeper, Flamingo Trumpet creeper, Yellow Trumpet creeper
<i>Clematis paniculata</i>	Sweet Autumn Clematis
	Select from the following varieties:
	Henry's Clematis, Jackmanii Clematis, Ramona Clematis
<i>Gelsemium rankinii</i>	Swamp Jessamine
<i>Gelsemium sempervirens</i>	Carolina Jessamine-

Ipomoea quamoclit
Ipomoea sinuate
Lonicera sempervirens
Lonicera sempervirens
Mascagnia macroptera
Mazus Reptans
Parthenocissus quinquefolia
Passiflora caerulea var. Blue Crown
Vine
Passiflora incarnate cinnicata var. Incense
Phyla nodiflora
Sedum spp.
Vinca Major
Vinca Minor
Wisteria frutescens

Cypress Vine
Alamo Vine
Coral Honeysuckle
Yellow Honeysuckle
Butterfly Vine
Mazus Reptans
Virginia Creeper
Blue Crown Passion
Incense Passion Vine
Texas Frogfruit
Sedum
Vinca Major
Vinca Minor
Texas Wisteria

Turf Grass:

Cynondon dactylon

Common Bermudagrass